

EYESORES TO EYE CANDY

New Partners for Smart Growth Conference

Portland, Oregon

February 2016

Seth Otto, AICP, LEED AP Maul Foster & Alongi, Inc.

Jennifer Bildersee City of Portland

Matthew Dalbey, Ph.D. U.S. Environmental Protection Agency

Stacy Frost, PE Maul Foster & Alongi, Inc.

Ignacio Dayrit Center for Creative Land Recycling



EYESORES TO EYE CANDY

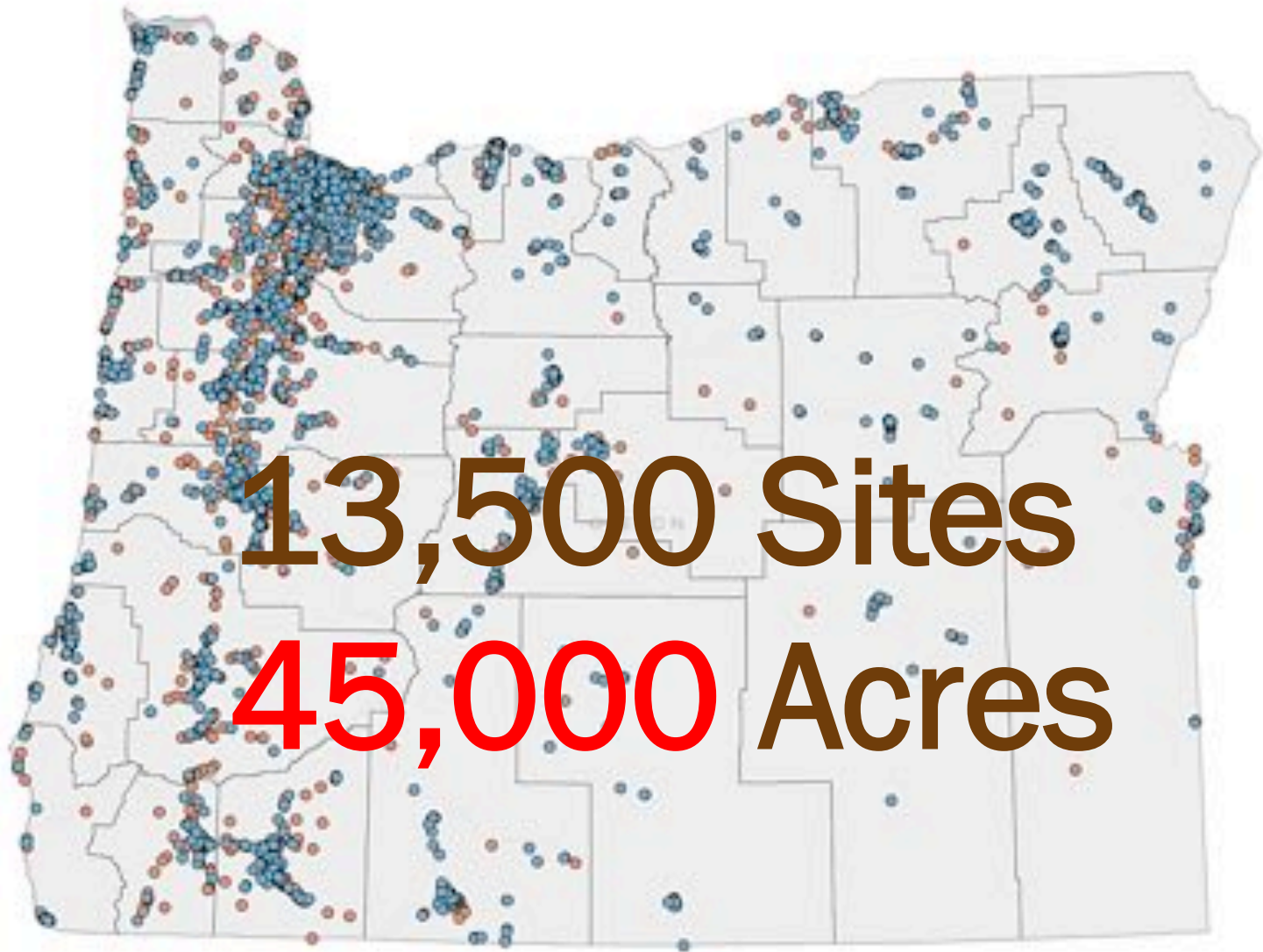
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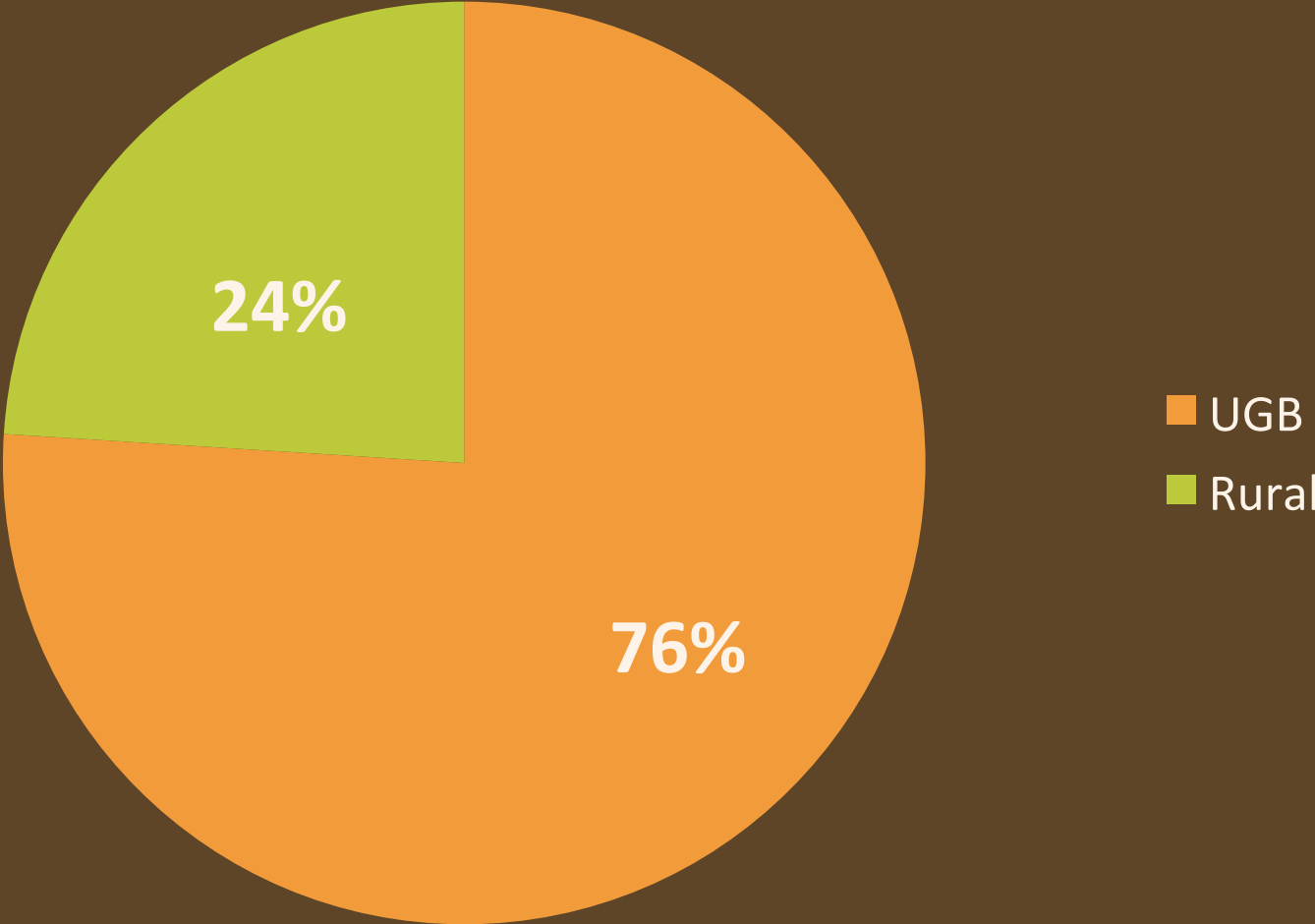


13,500 Sites

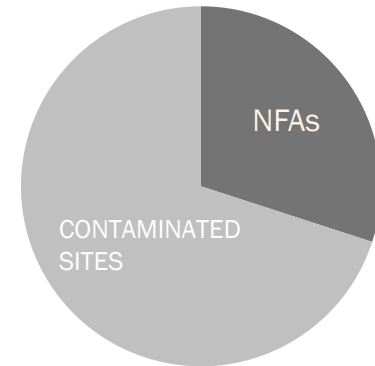
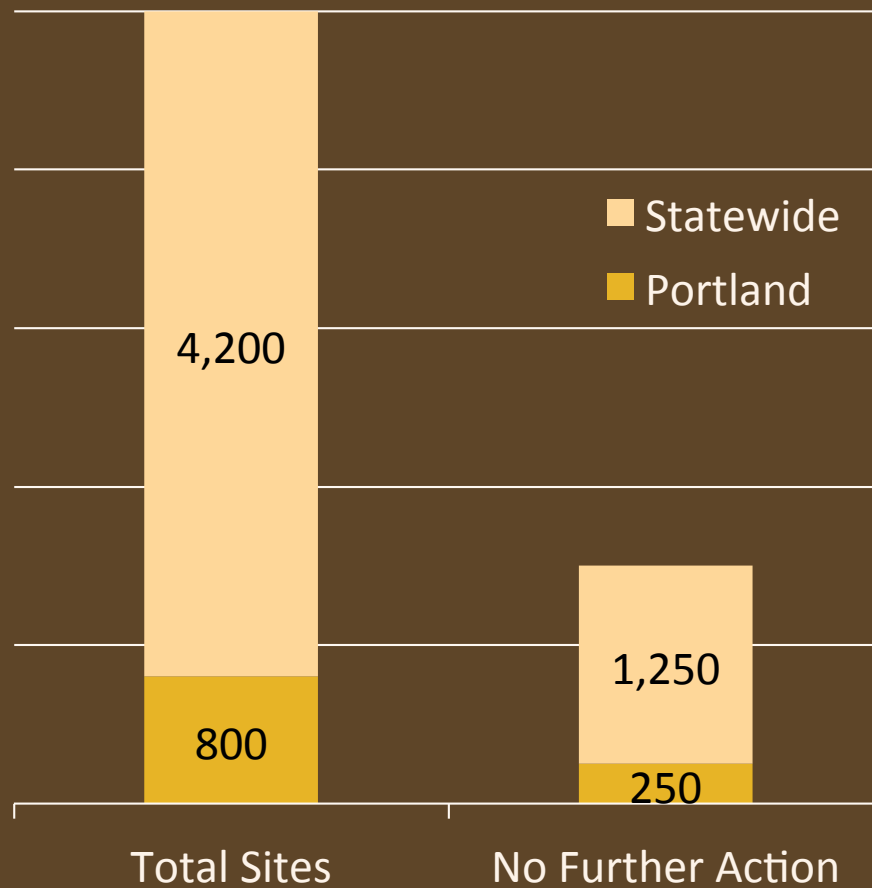
45,000 Acres

• ESCI • LUST

Brownfield Sites by Location



Contaminated Sites in Oregon



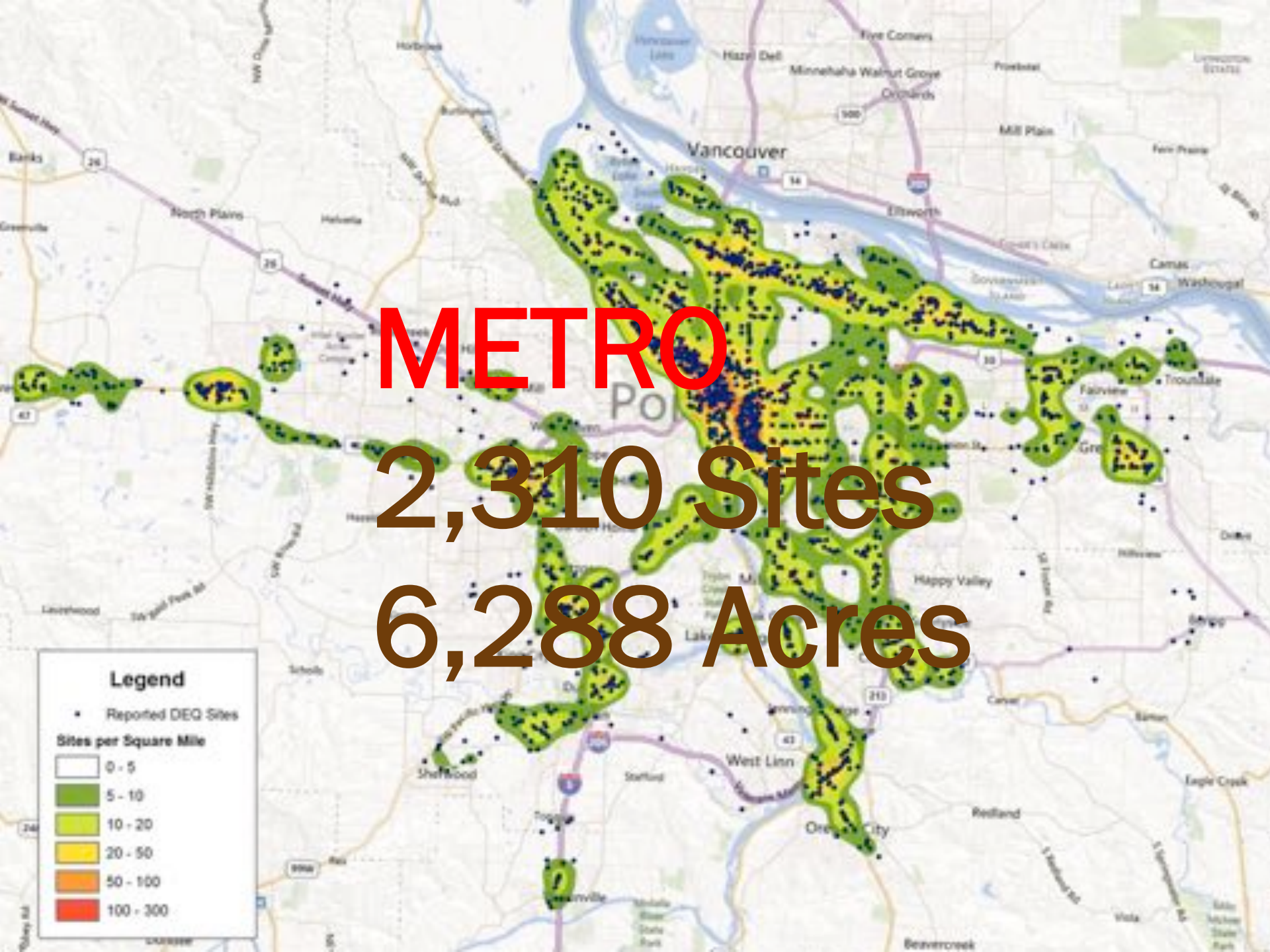
Statewide, 1988-2011



METRO

2,310 Sites

6,288 Acres



METRO BROWNFIELD TYPOLOGIES



BROWNFIELD TYPOLOGIES



SMALL COMMERCIAL SITE



INDUSTRIAL CONVERSION



ONGOING INDUSTRIAL



RURAL INDUSTRY

DESCRIPTION

Small sites such as gas stations and dry cleaners

Range of historical industrial uses in areas that have transitioned to commercial centers

Industrial sites in designated employment areas

Natural resource related sites near the edge of urban areas

METRO 2040 DESIGN TYPE

Cities, Town Centers & Corridors

Cities, Town & Neighborhood Centers

Employment Areas

Urban Fringe

TYPICAL SIZE

0-2 acres

1-20 acres

>5 acres

>10 acres

POTENTIAL RE-USE

Commercial, Multi-Family

Commercial, Mixed Use

Industrial, Flex Space

Industrial, Agric.

PARCELS

1,796

77

300

135

ACRES

885

692

4078

633



MAUL
FOSTER
ALONOI

Albina Study Area



Aloha Study Area



Industrial Way Study Area



McLoughlin Corridor Study Area



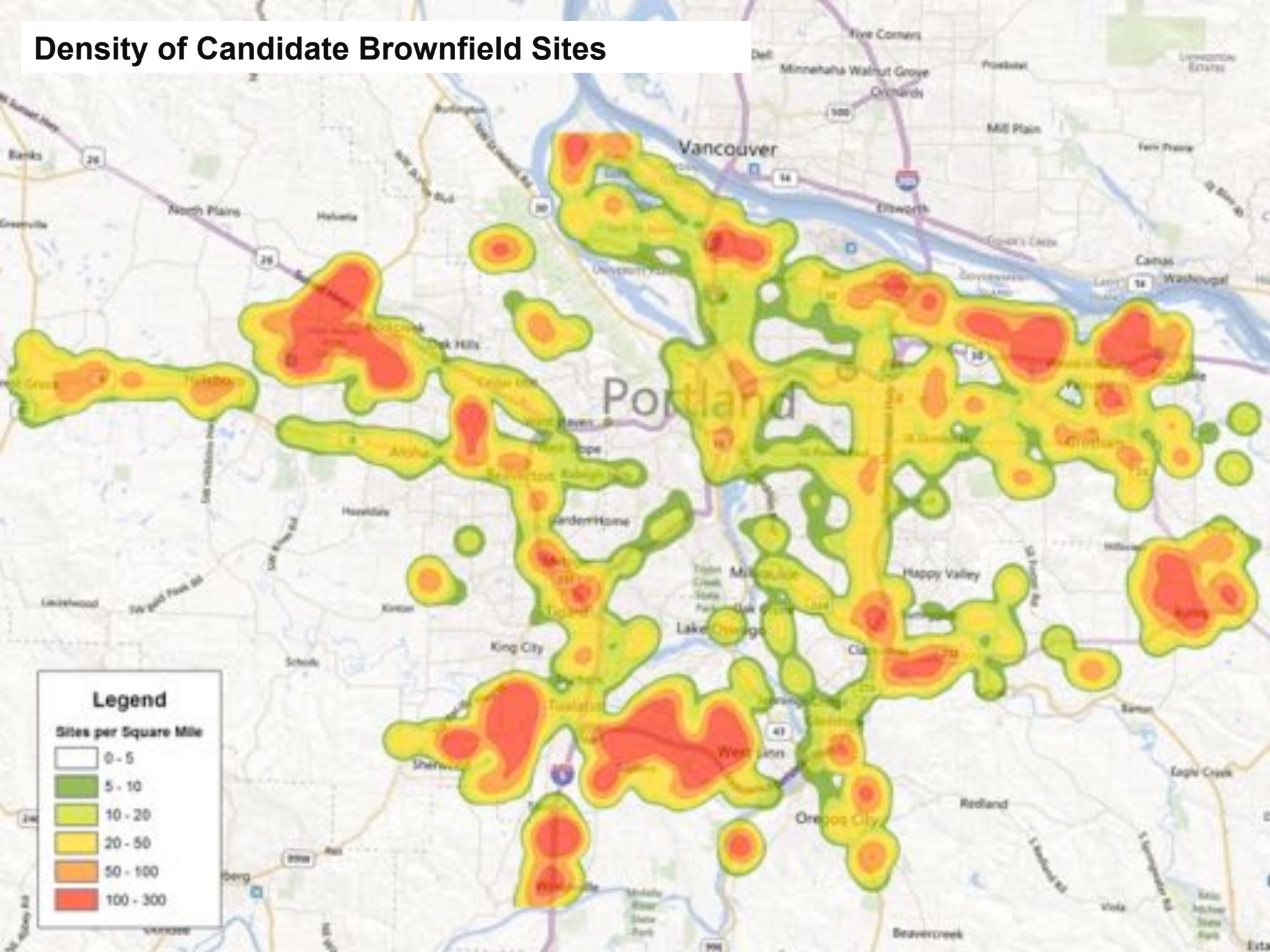
Tigard Study Area



Tualatin Study Area



Density of Candidate Brownfield Sites



Total Potential Brownfield Sites by 2040 Design Types

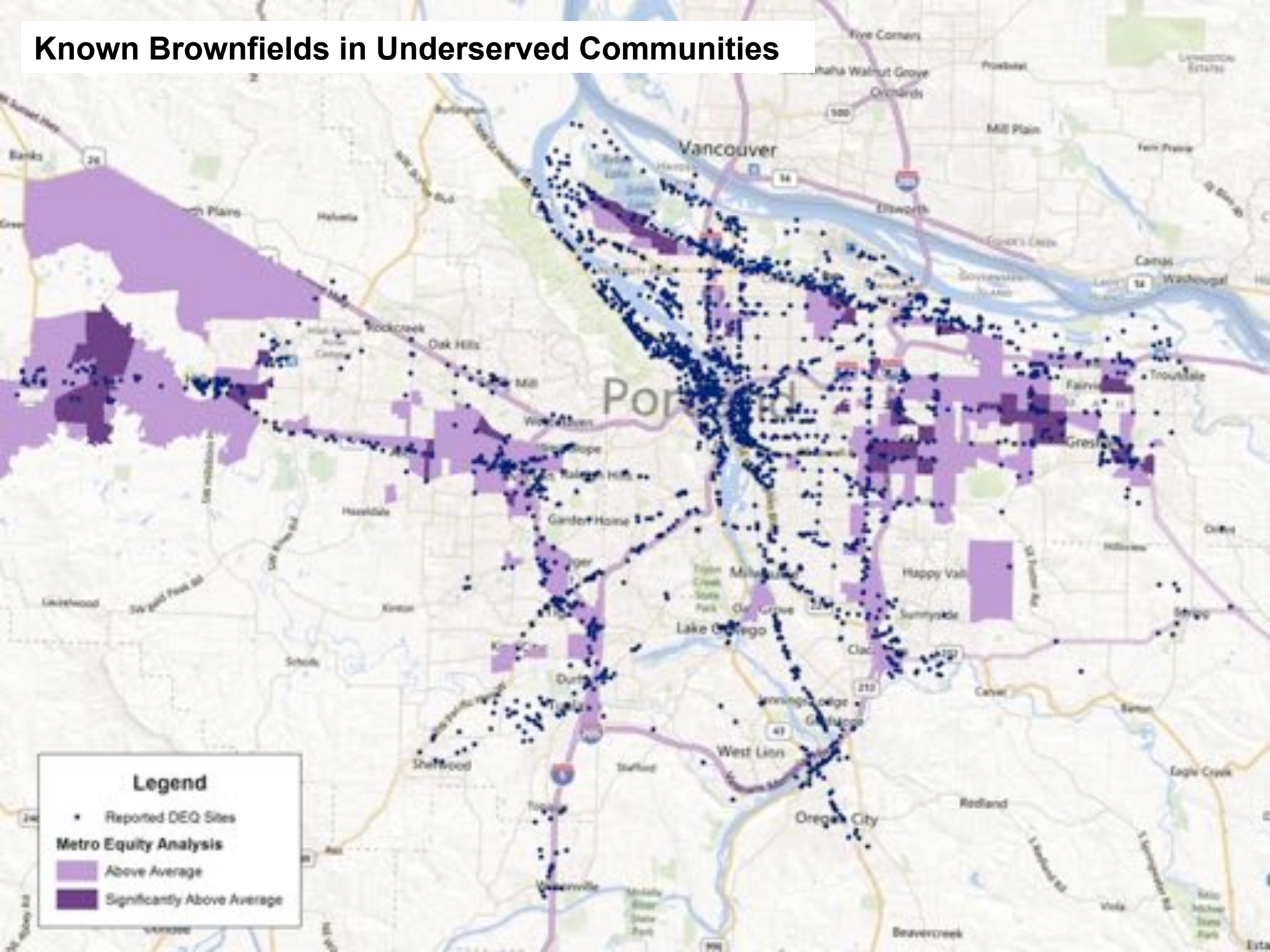
10



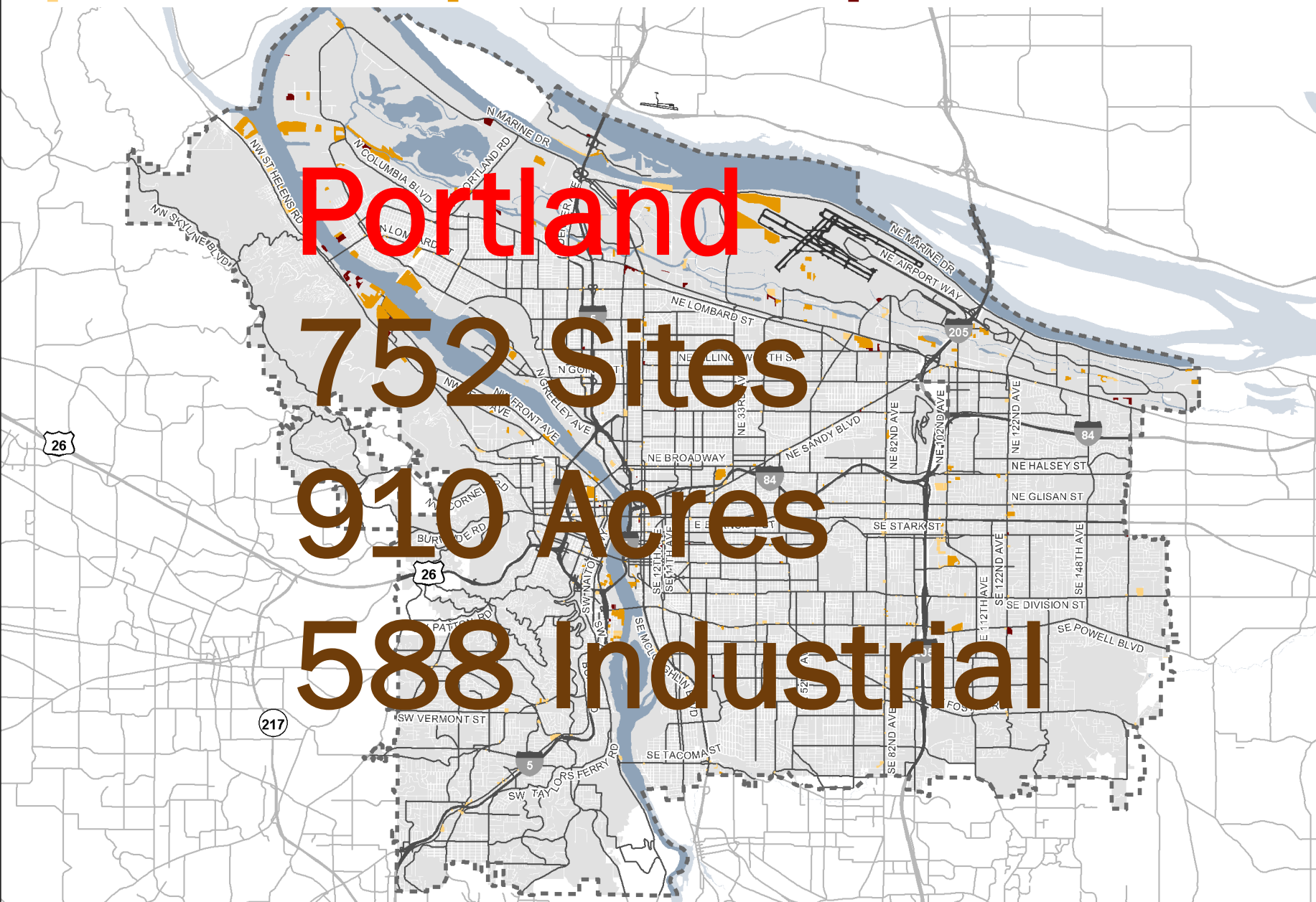
Total Potential Brownfield Sites by General Zoning Class



Known Brownfields in Underserved Communities



 "underutilized" parcel with LUST record  "underutilized" parcel with ECSI record  "underutilized" parcel with ECSI and LUST record





Why should we care?

Represent a lost opportunity for job creation and economic development.



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- Full build out of all brownfields in the Portland Metropolitan region would create 69,000 jobs on those sites, generating approximately \$1.4 billion in additional wages.

Represent a lost opportunity for job creation, economic development, and smart growth.

- Full build out of all brownfields in the Portland Metropolitan region would create 69,000 jobs on those sites, generating \$1.4 billion in additional wages.
- 71 million square feet of new development, generating \$324 million to \$427 million in new property tax revenue.

71 million square feet




X 173

Represent a lost opportunity for job creation, economic development, and smart growth.

- Full build out of all brownfields in the Portland Metropolitan region would create 69,000 jobs on those sites, generating \$1.4 billion in additional wages.
- 71 million square feet of new development, generating \$324 million to \$427 million in new property tax revenue.
- Equates to between 18% to 59% of total 20 year employment demand identified in Metro UGR; 45% of Portland's industrial land need identified in EOA

Exacerbate health, social equity, and environmental justice issues, especially in underserved communities.



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- 65% of Metro area brownfield sites are within a census tract with above or significantly above average underserved population.

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- 65% of Metro area brownfield sites are within a census tract with above or significantly above average underserved population.
- Statewide, 54% of cleanup sites are located in economically distressed counties
- Full build-out of the Portland inventory of potential brownfields would represent a reduction of 39,000 metric tons of CO₂ annually— the equivalent of taking 9,200 cars off the road every year.

Increase pressure for development in rural areas.



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- In the Portland Metro area, full build out of brownfields properties could accommodate 138,000 new dwelling units and save up to \$480 million in public infrastructure.

Increase pressure for development in rural areas.

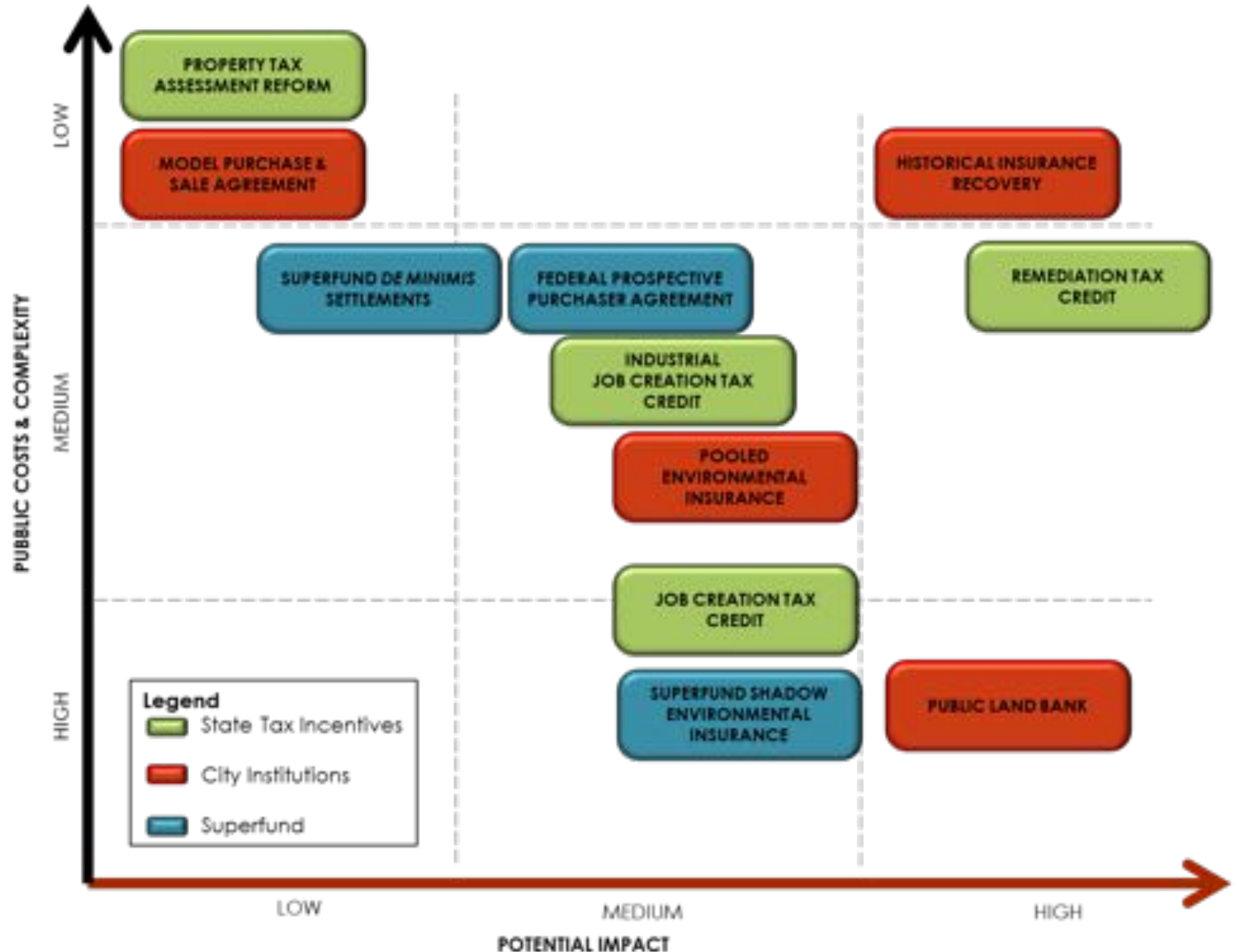
- In the Portland Metro area, full build out of brownfields properties could accommodate 138,000 new dwelling units and save up to \$480 million in public infrastructure.
- 50% of sites listed in DEQ's ECSI database in the Portland Metro area were within 1,000 feet of sensitive environmental areas, such as wetlands and streams.

Challenges

- Financial Capacity
- Risk and Uncertainty
- Disconnect between Cleanup and Redevelopment
- Regulatory Process

Figure 4-3

PUBLIC BENEFIT & RETURN ON INVESTMENT SUMMARY ANALYSIS



Return on Investment – Outcome From \$1m Invested – Metro Study

	Acres/\$m	Total SF/ \$m	New Jobs/\$m	Dwelling Units/\$m	Annual Tax Revenue/\$m	
					Property Tax	Personal Income Tax
Remediation Tax Credit	7.8	763,500	160	600	\$1,218,500	\$326,600
Property Tax Abatement	5.6	544,500	110	430	\$869,000	\$232,900
Cleanup Fund	3.9	153,500	40	90	\$243,600	\$113,300
Land Bank	3.5	74,800	30	30	\$123,800	\$94,500

Economic Impact of Existing State Programs

Between 1990 and 2013, **\$1** of state investment in brownfield cleanup leveraged **\$116** in other funds generating 8,900 on-site and indirect jobs.



MAUL
FOSTER
ALONGI







Thank You



A scenic view of the Portland, Oregon skyline with Mount Hood in the background. The city buildings are visible in the mid-ground, and the mountain is prominent in the distance under a clear blue sky. In the foreground, there are trees with some autumn-colored foliage.

PORTLAND BROWNFIELD PROGRAM

New Partners for Smart Growth Conference

Portland, Oregon

February 13, 2016

Jennifer Bildersee

City of Portland OR



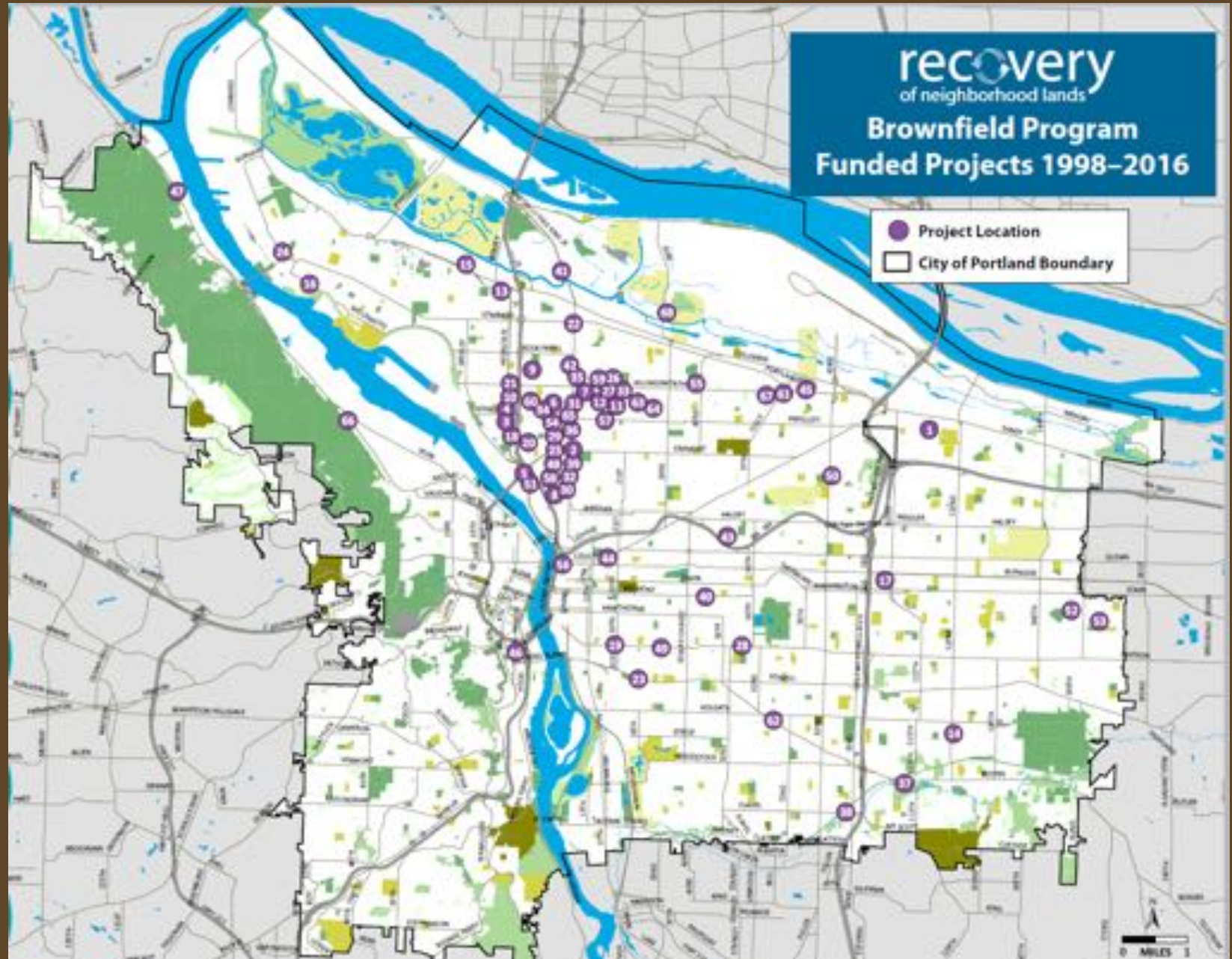






Tool #1: EPA Grants

40



EPA Assessment Grant

41

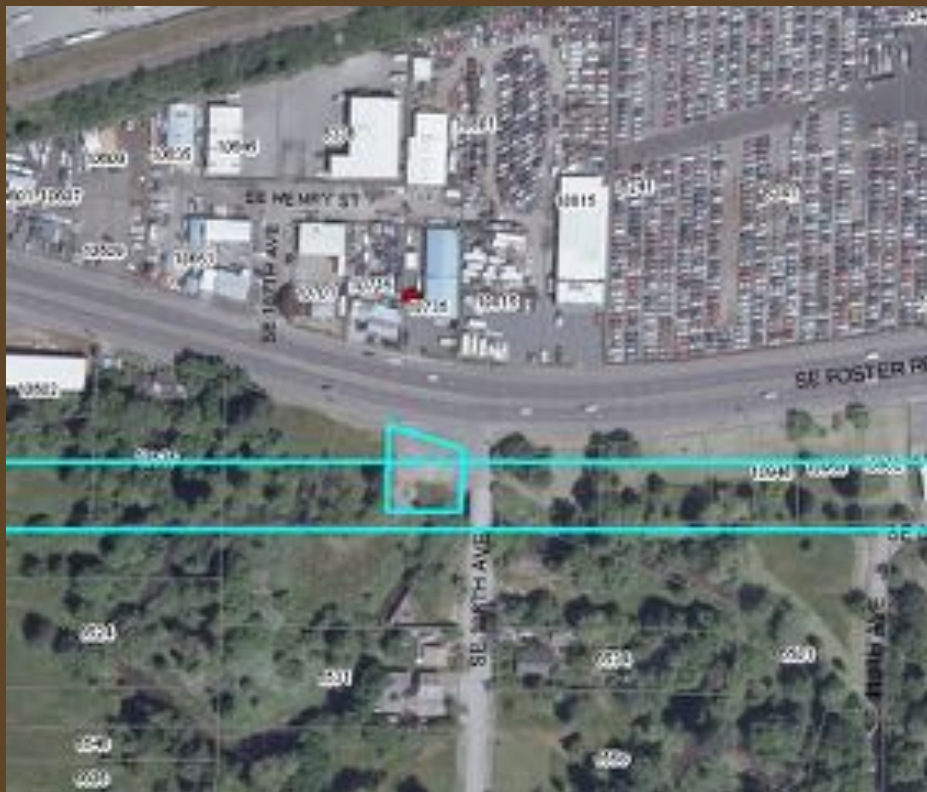




EPA Revolving Loan Fund Grant



Address is approximate



EPA Cleanup Grant



Tool #2: Policy Changes

OREGON BROWNFIELDS COALITION

ORGANIZATIONAL COALITION MEMBERS AS OF FEBRUARY 2015

ASSOCIATION OF OREGON COUNTIES
LEAGUE OF OREGON CITIES
OREGON PUBLIC PORTS ASSOCIATION
CITIES OF BEAVERTON, BEND, EGGEN, LINCOLN CITY, PORTLAND, SALEM, SPRINGFIELD AND TIGARD
CLACKAMAS COUNTY
MULTNOMAH COUNTY
WASHINGTON COUNTY
METRO
PORT OF PORTLAND
BUSINESS OREGON
OREGON DEPT. OF ENVIRONMENTAL QUALITY
OREGON HEALTH AUTHORITY
REGIONAL SOLUTIONS CENTER
US EPA
1000 FRIENDS OF OREGON
AUDUBON SOCIETY OF PORTLAND
BEYOND TOXICS
COMMUNITY HOUSING FUND
GROUNDWORK PORTLAND
NEIGHBORHOOD PARTNERSHIPS
OREGON ENVIRONMENTAL JUSTICE TASK FORCE
OREGON OPPORTUNITY NETWORK
UPSTREAM PUBLIC HEALTH
VERDE
ASSOCIATED OREGON INDUSTRIES
COLUMBIA CORRIDOR ASSOCIATION
NORTHWEST ENVIRONMENTAL BUSINESS COUNCIL
OREGON BUSINESS ASSOCIATION
OREGON ECONOMIC DEVELOPMENT ASSOCIATION
OREGON STATE BUILDING & CONSTRUCTION TRADES COUNCIL
OREGON STATE CHAMBER OF COMMERCE
INTERNATIONAL COUNCIL OF SHOPPING CENTERS
CLACKAMAS COUNTY BUSINESS ALLIANCE
PORTLAND BUSINESS ALLIANCE
WESTSIDE ECONOMIC ALLIANCE
PORTLAND STATE UNIVERSITY

BROWNFIELDS: POLLUTED SITES, NEW HOPE

Oregon is burdened by thousands of polluted sites called brownfields. Ranging in size from large factory sites to small former gas stations and dry cleaners, over 13,000 brownfields are scattered throughout the state – only 35 percent of which have been assessed or cleaned up.

Nearly every Oregonian has a brownfield in their community. They are the vacant lots we drive by daily, the piles of polluted dirt behind rusting chain link fences, the abandoned storefronts blighting our main streets.

Brownfields must be cleaned up before they can be reused for jobs, housing and other community needs. However, cleanup is expensive. Current owners and potential developers are required to pay, even though the original polluters may have gone bankrupt, been acquired by other companies or disappeared. Landowners interested in cleanup often face a time-consuming and expensive maze of permits, regulations and inspections. Many landowners and developers steer clear of known or potential brownfields because the costs and risks are too high to justify action.

Government action to help get brownfields cleaned up could unlock billions of dollars of economic activity. The state's small Brownfields Redevelopment Fund has helped create \$2.3 billion in economic activity with relatively minimal investment. But so far the fund has barely scratched the surface of Oregon's brownfield challenge.

SOLUTIONS TO OREGON'S BROWNFIELD CHALLENGE

The Oregon Brownfields Coalition has this goal: find collaborative strategies to help turn these liabilities into community assets quickly and equitably. The members of the Coalition represent public, private and nonprofit partners and a wide range of disparate interests. But we share a common goal with respect to this critical challenge. Brownfields are holding our communities and our economy back. It's time to take action to help communities all over Oregon.

The Coalition proposes these solutions in the 2015 legislative session:

- **Recapitalize the state Brownfields Redevelopment Fund**, as proposed in the Governor's budget.
- Allow local communities to create **land banks** and offer **tax abatements** for brownfield cleanup and redevelopment.
- Create **state tax credits** for brownfield redevelopment.

We look forward to working with you to solve Oregon's brownfield challenge.

CONTACT

Oregon Brownfields Coalition
503-797-1562
oregonmetro.gov/brownfields

OREGON BROWNFIELDS COALITION

2015 LEGISLATIVE PROPOSAL: MORE DETAILS

Every brownfield is different. It is important to have a range of tools to solve Oregon's brownfield challenge. As such, the Brownfields Coalition is respectfully presenting a three-part legislative proposal for the 2015 Oregon Legislature. In addition to recapitalizing the state Brownfield Fund, here are the strategies the Coalition is recommending.

LAND BANKS (HB 2734): COMMUNITY CREATED, COMMUNITY DRIVEN

A land bank is a locally-created public authority that can acquire, hold, manage and transfer property to new owners. Land banks aim to return brownfield sites neglected by the open market back into productive use. They do this by:

- acquiring titles to contaminated, vacant, or blighted properties
- facilitating remediation and/or site improvements to eliminate barriers to redevelopment
- transferring properties to owners who will develop the property in a way that supports community priorities.

A land bank works in cooperation with local governments, non-profits, community organizations, lenders, and property developers to leverage available resources to clean up contaminated properties.

How would land banks benefit Oregon communities? Local land banks let the community create a streamlined process to acquire, clean up and redevelop brownfields throughout the state. By making the process faster, easier and cheaper, communities can more easily return brownfields to productive use, in a way that reflects their own values.

BROWNFIELD TAX ABATEMENTS (HB 2734): LOCAL SOLUTIONS MAKE THINGS HAPPEN

Brownfield tax abatements are partial property tax exclusions for specified improvements to brownfields. They can offset risks and costs of brownfield cleanup, especially for sites that would otherwise remain polluted. Abatements can:

- be targeted to specific reinvestment areas
- have a set of conditions attached for participation
- be enacted at the discretion of the local jurisdiction
- offer a new benefit to non-profit development organizations

A tax abatement program for brownfields would focus on work done to assess a property's current contamination and for any cleanup done by the owner. No abatement would be given for any subsequent redevelopment on the property.

How would a tax abatement benefit Oregon communities? A tax abatement program would give local control to municipalities to provide incentives for brownfield remediation and redevelopment. Properties that don't pencil out for redevelopment could potentially become feasible to property owners and industrial developers much sooner.

BROWNFIELD TAX CREDIT (HB 2289): STATE LEADERSHIP CREATES JOBS

A brownfield tax credit would allow property owners and developers to reduce income taxes by a percentage of the documented qualifying costs of brownfield cleanup. This incentive can help offset risks and costs of brownfield cleanup, especially for sites that would otherwise remain polluted. The tax credit can:

- apply to prospective purchasers or non-responsible owners (public, private, non-profit)
- have an annual program cap
- require property owners to be enrolled in a DEQ cleanup program
- require a contribution of cleanup costs from the owner

A tax credit program for brownfields would focus on any work done to assess and cleanup properties, including assessment, demolition, cleanup, and disposal.

How would a tax credit benefit Oregon communities? A tax credit would give a statewide incentive to property owners and developers that might not explore development on known brownfields. The credit could tilt the development feasibility of key industrial and employment sites, as well as town center and main street redevelopment opportunities statewide. Similar tax credits in other states have created thousands of jobs with relatively little state investment.

Impact

High Impact – Low Feasibility	High Impact – High Feasibility
Brownfield Cleanup Tax Credit (TC) Licensed Site Remediation Profession program (LSRP) Brownfield Urban Renewal Areas (BURA)	Regulatory Enhancements (REGs) Land Bank (LB) Business Oregon Brownfield Fund (BOB) Tax Abatement (TA)
Low Impact – Low Feasibility	Low Impact – High Feasibility
Brownfield Opportunity Areas (BOAs) Tax Assessment Reform	

Feasibility



78th OREGON LEGISLATIVE ASSEMBLY—2015 Regular Session

C-Engrossed House Bill 2734

Ordered by the House June 2
Including House Amendments dated March 19 and April 27 and June 2

Sponsored by Representative READ, Senator HANSELL, Representative FREDERICK, Representative HUFFMAN, Senator ROBLAN (Pre-session filed.)

SUMMARY

The following summary is not prepared by the sponsors of the measure and is not a part of the body thereof subject to consideration by the Legislative Assembly. It is an editor's brief statement of the essential features of the measure.

Authorizes local government to create by ordinance or resolution Land Bank Authority as municipal corporation.

Authorizes authority to have powers necessary to acquire, rehabilitate, redevelop, reuse or restore brownfield properties. Authorizes authority to bring action to recover remedial action costs or damages and authorizes court in such action to allow authority to recover costs, expert witness fees, reasonable attorney fees and prejudgment or preaward interest.

Provides process for dissolution of authority.
Exempts authority, under certain circumstances, from liability for spill or release of oil or hazardous material existing on property as of date authority becomes owner or operator of property.

Requires authority to be managed and controlled by board of directors. Sets forth duties of board.

[Authorizes local government to adopt program granting property tax abatement against taxes imposed on brownfields in amount equal to specified percentage of certain remediation costs. Provides that program becomes effective only upon certain threshold level of concurrence by local taxing districts. Provides that additional abatement may be granted if local government adopts additional requirements in connection with development of brownfields. Provides that amounts of abatement in excess of tax liability may be carried forward for four consecutive property tax years. Provides for clawback of abated amounts if abatement of brownfield revoked for cause.]

A BILL FOR AN ACT

1
2 Relating to remediation of contaminated property; creating new provisions; and amending ORS
3 244.050, 465.255, 466.640 and 468B.310.

4 **Be It Enacted by the People of the State of Oregon:**

5

78th OREGON LEGISLATIVE ASSEMBLY—2016 Regular Session

House Bill 4084

Sponsored by Representatives MCKEOWN, FREDERICK, GORSEK, DAVIS, Representatives EVANS, FAGAN, HACK, HOLVEY, JOHNSON, KENY-GUYER, LIVELY, MCLAIN, PILUSO, RAYFIELD, REARDON, Senators HANSELL, ROBLAN (Pre-session filed.)

SUMMARY

The following summary is not prepared by the sponsors of the measure and is not a part of the body thereof subject to consideration by the Legislative Assembly. It is an editor's brief statement of the essential features of the measure as introduced.

Authorizes certain local governments to adopt ordinance or resolution providing property tax incentive programs that grant special assessment to brownfields or exemption to new and existing improvements and personal property on brownfields for period of up to 10 years, with additional period up to five years based on locally adopted criteria. Caps dollar amount of benefits at specified eligible costs for property.

Provides that ordinance or resolution becomes effective only if rates of taxation of taxing districts located within territory of local government whose governing boards agree to incentive programs, when combined with rate of local government adopting incentive programs, equal 51 percent or more of total combined rate of taxation within territory of local government. Provides that eligible costs equal discounted present value of estimated after-tax costs directly related to remaining work necessary to remove, contain or treat contamination of brownfield.

Provides for clawback of property tax incentive program benefits upon disqualification for failure to comply with eligibility requirements or make reasonable progress on remediation or redevelopment or for misbehavior or false statements in application to participate in incentive programs.

Sunsetts authority to adopt ordinance or resolution on January 2, 2037.
Takes effect on 91st day following adjournment sine die.

A BILL FOR AN ACT

1
2 Relating to tax incentives for brownfield cleanups; and prescribing an effective date.

3 **Be It Enacted by the People of the State of Oregon:**

4 **SECTION 1.** (1) The governing body of a city or county, or of a port organized under ORS
5 chapter 777 or 778, may adopt an ordinance or resolution providing for programs that offer
6 either or both of the following ad valorem property tax incentive benefits:

7 (a) Special assessment of any land that constitutes a brownfield, as defined in ORS
8 285A.185, located within the respective jurisdiction of the city, county or port.

9 (b) Exemption or partial exemption of improvements and personal property on land de-

Tool #3: Using brownfield tools, but not calling them brownfield projects ...especially with community projects.



Menu OregonLive Subscribe

June Key Delta Community Center closer to becoming first African-American owned Living Building

By Cassi Parks | The Oregonian/OregonLive
Follow on Twitter
on November 18, 2023 at 3:49 PM, updated December 21, 2023 at 6:41 PM

The Delta Sigma Theta sorority has added solar panels to their [June Key Delta Community Center](#), moving the former gas station one step closer to becoming the first African-American-owned Living Building.

The sorority will debut the panels and host tours Tuesday during an open house at the site, across from Peninsula Park at 5940 North Albina St.

The sorority, a chapter of an international sisterhood of black college-educated women, bought the former Arco site in 1992 with intentions of [restoring the contaminated site](#). They opened the community center two years ago with many sustainable features.

106 shares

WHAT DO PORTLAND CITY EMPLOYEES MAKE?
Searchable database

City government pay



June Key Delta Community Center
on a former gas station
N Portland



Frazer Park Community Garden
former building site, lead paint
NE Portland



Tool #4: Really, really calling them brownfield projects
...especially with community projects.



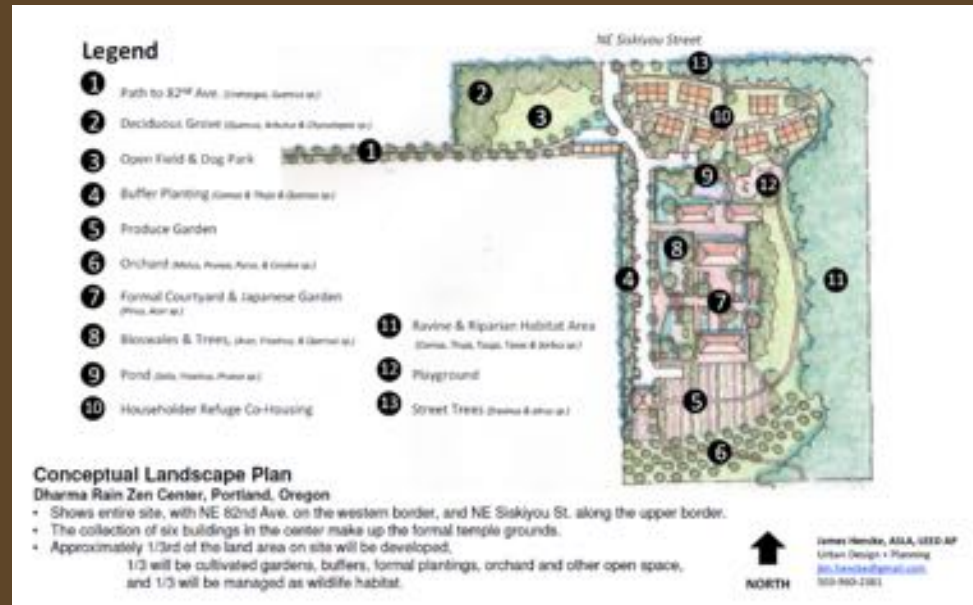
Dharma Rain Zen Center

on a former landfill
NE Portland



Funding sources included:

- City of Portland EPA Brownfield Assessment Grant
- City of Portland EPA Brownfield Revolving Loan Fund Grant
- EPA Brownfield Cleanup Grant
- Oregon Business Development Department Brownfield Redevelopment Fund
- Regional Solutions Brownfield Grant



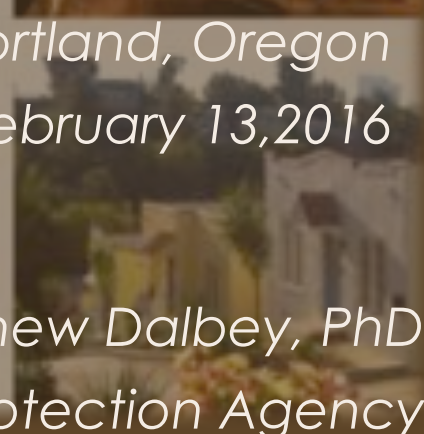


Tabor Commons
on a former gas station
SE Portland





the end.



U.S. EPA

New Partners for Smart Growth Conference

Portland, Oregon

February 13, 2016

Matthew Dalbey, PhD

U.S. Environmental Protection Agency





Case Study in Brownfield Redevelopment: From Legacy Landfill to New Home Stadium of the Fighting Fishermen

New Partners for Smart Growth Conference

Portland, Oregon

February 13, 2016

Stacy Frost, PE Environmental Engineer

Maul Foster & Alongi, Inc.



Storia, Oregon



History

1965 - Opened



1978 - Uncontrolled
leachate discharge,
DEQ requires closure



Landfill Background

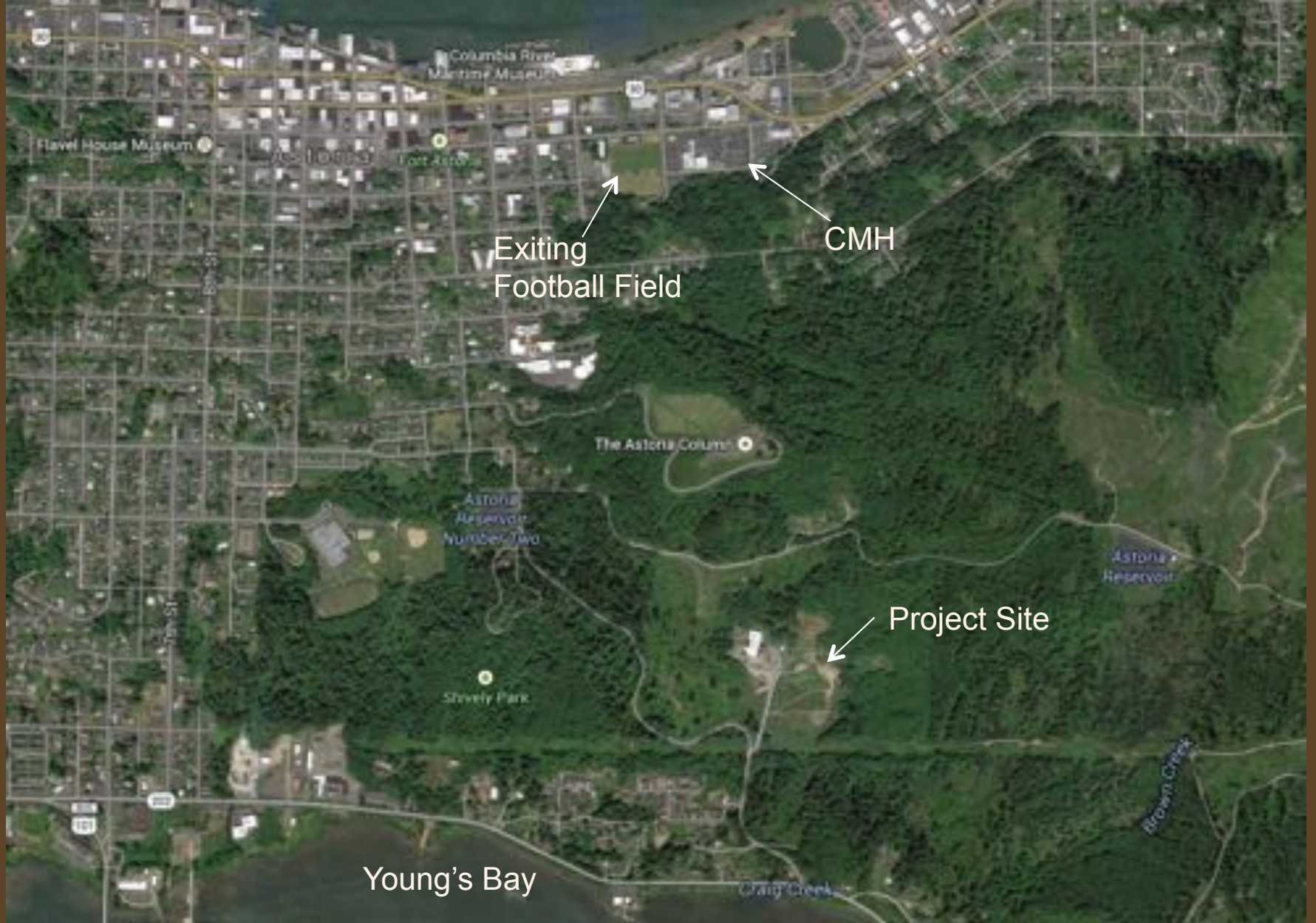


Transfer Station
built in 1985

Closure Permit
issued in 1986



Landfill Background



Project Background

Community Partnership

59



- Close and Cap Landfill
- New Sports complex for school district
- Possible new revenue source for school district
- Existing football field can be redeveloped as hospital campus expansion

4-Party Agreement

60

- Each party is a signer to the agreement
- Defined relationships between parties and expected outcomes (36 pages)
 - ▣ Costs
 - ▣ Property transfers/leases
 - ▣ Warranties
 - ▣ Deed restrictions

Project Funding

61

- \$1,445,000 Remediation
- \$6,041,000 Athletic Complex Dev.

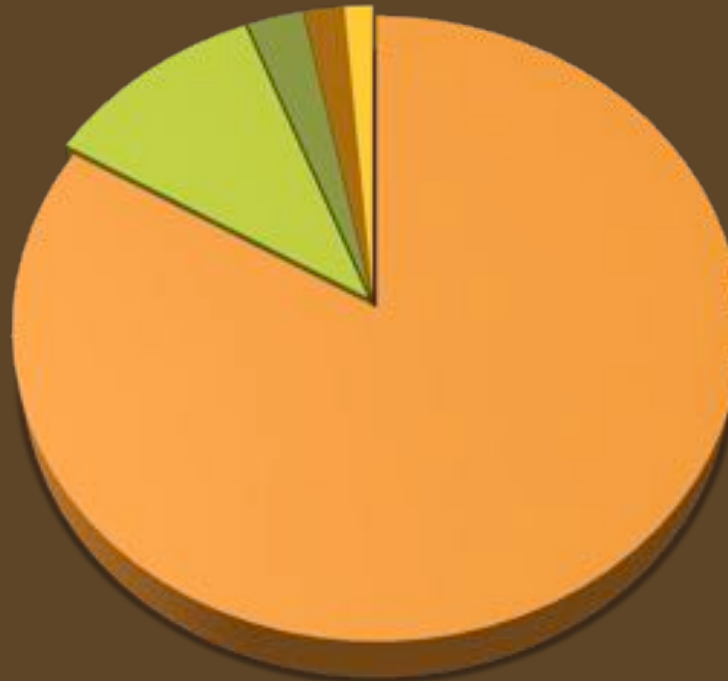
■ Columbia Memorial Hospital
\$6,250,000

■ City of Astoria
\$795,000

■ Astoria School District
\$200,000

■ Recology Western Oregon
\$141,000

■ Oregon Dept. of Env. Quality
\$100,000



Design Considerations

63

1. Settlement of the landfill;
2. Capping of the landfill;
3. Landfill gas collection;
4. Subsurface water flow;
5. Stormwater runoff collection/conveyance;
6. Minimize disruption in the operation of the Transfer Station.

Settlement of the Landfill

64

- Rock Surcharge
 - 20,000 cy
 - Placed in three stages
 - Two months min
 - [VIDEO LINK](#)

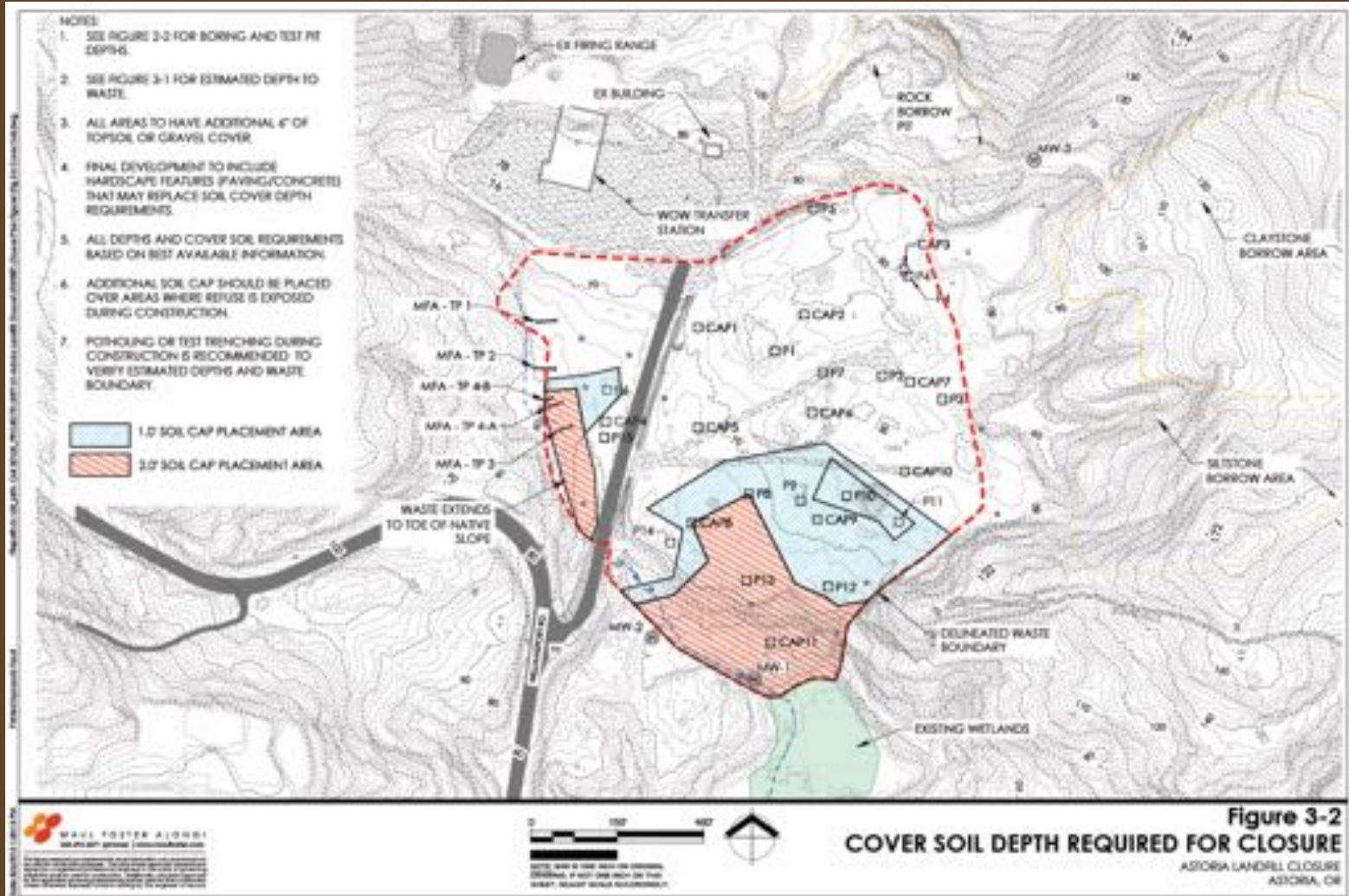


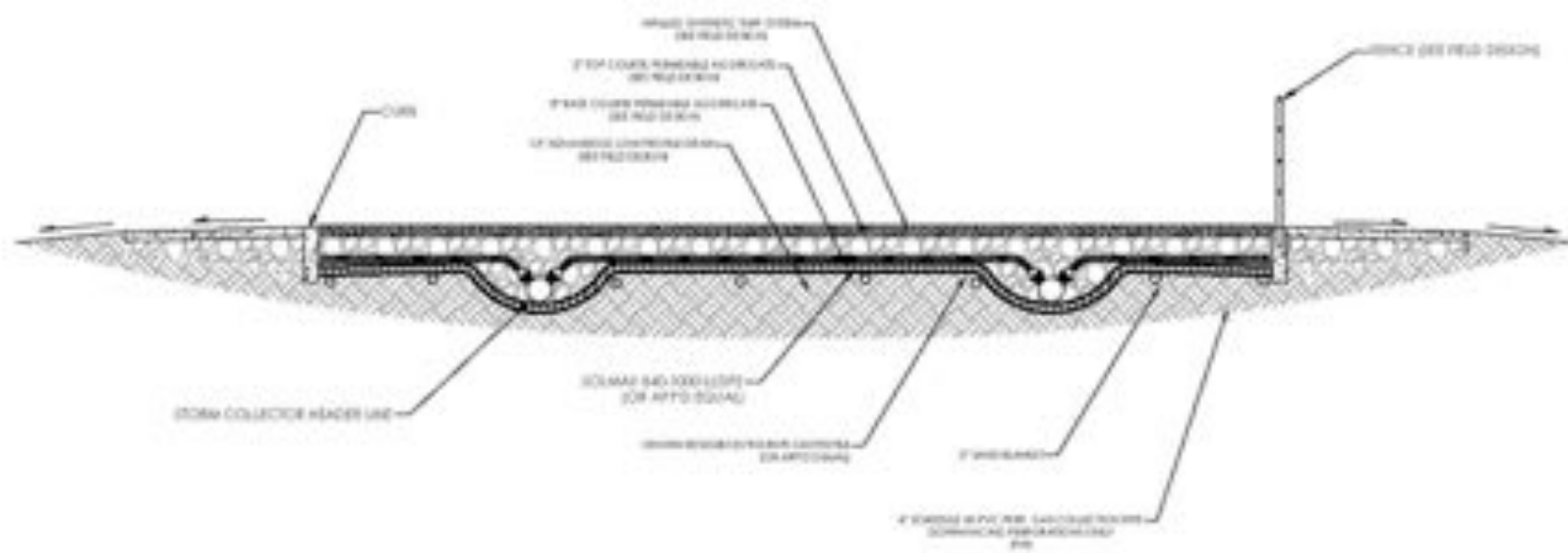
Capping of the Landfill

65

- Closure required by DEQ:
 - ▣ 30" minimum compacted clay soil cap
 - ▣ 2% minimum overland slopes
- Cover systems for development
 - ▣ Asphalt pavement & gravel
 - ▣ LLDPE under field
 - ▣ HDPE under buildings
 - ▣ PVC liner in ditches

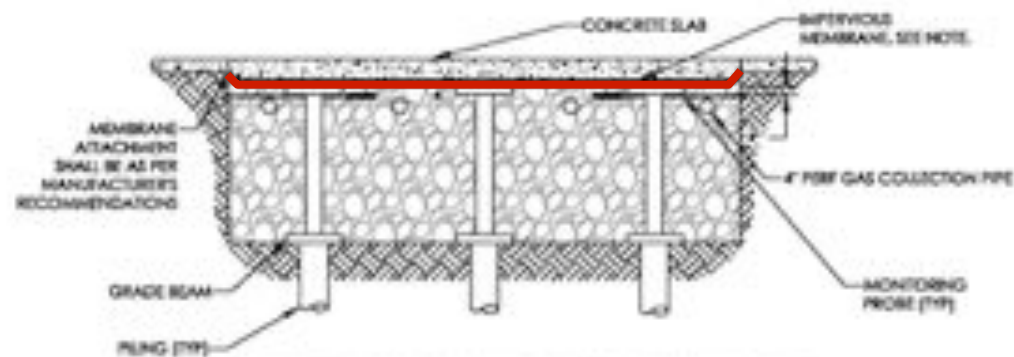
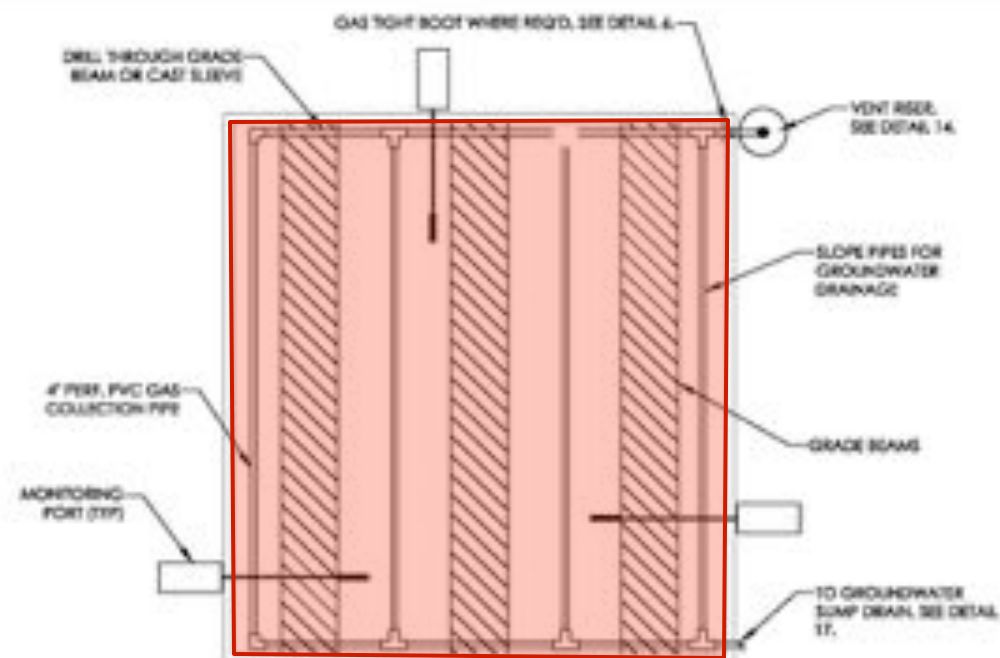
Capping of the Landfill





SUBFIELD GAS COLLECTION SYSTEM
ASTORIA SPORTS FIELD

COLUMBIA MEMORIAL HOSPITAL
ASTORIA, OR



NOTE: IMPERVIOUS MEMBRANE SHALL BE UNDERLAIN BY SMALL DIAMETER ROUNDED GRAVEL BLANKET, GEOTEXTILE CUSHION LAYER, OR SAND LAYER TO PREVENT LINER PUNCTURE.



MAUL FOSTER ALONGI
 360.242.2411 | gfranz | www.mfaia.com

BELOW SLAB/GRADE BEAM FOUNDATION COLLECTION
ASTORIA SPORTS FIELDS
 COLUMBIA MEMORIAL HOSPITAL
 ASTORIA, OR

Landfill Gas Collection

69



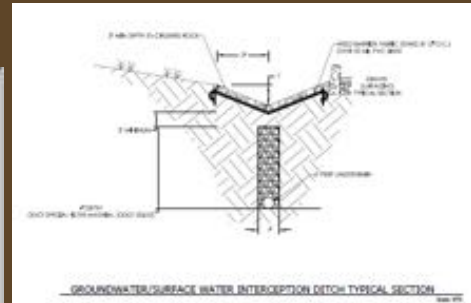
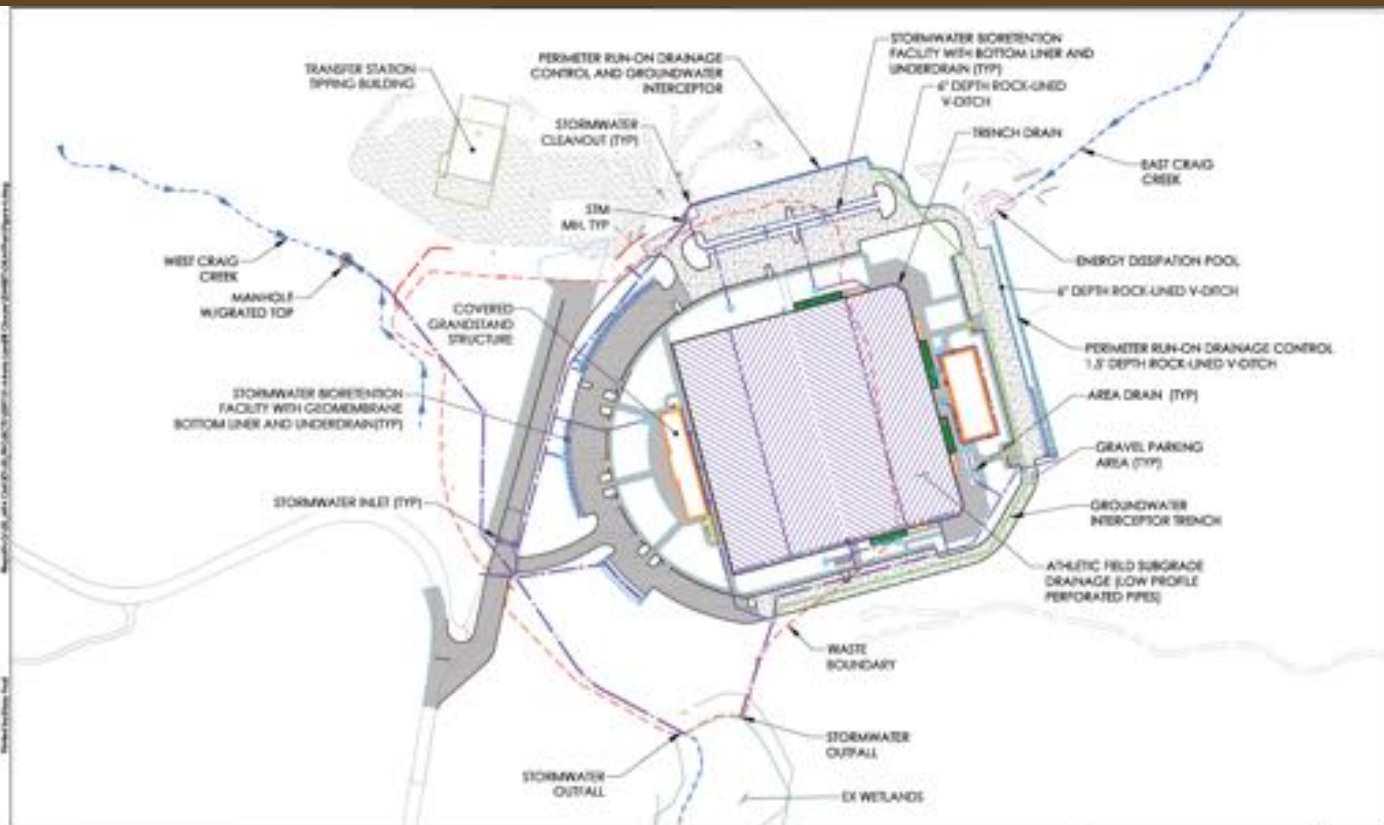
Methane Controls in Buildings

70



WARNING
THIS BUILDING IS PROTECTED
WITH A METHANE CONTROL BARRIER.
ANY PROPOSED PENETRATION OR
ALTERATION OF FLOOR SLAB
REQUIRES NOTIFICATION OF THE
BUILDING OFFICIAL AND INSPECTION
BY AN ENGINEER.

Stormwater Controls



Stormwater Controls

72

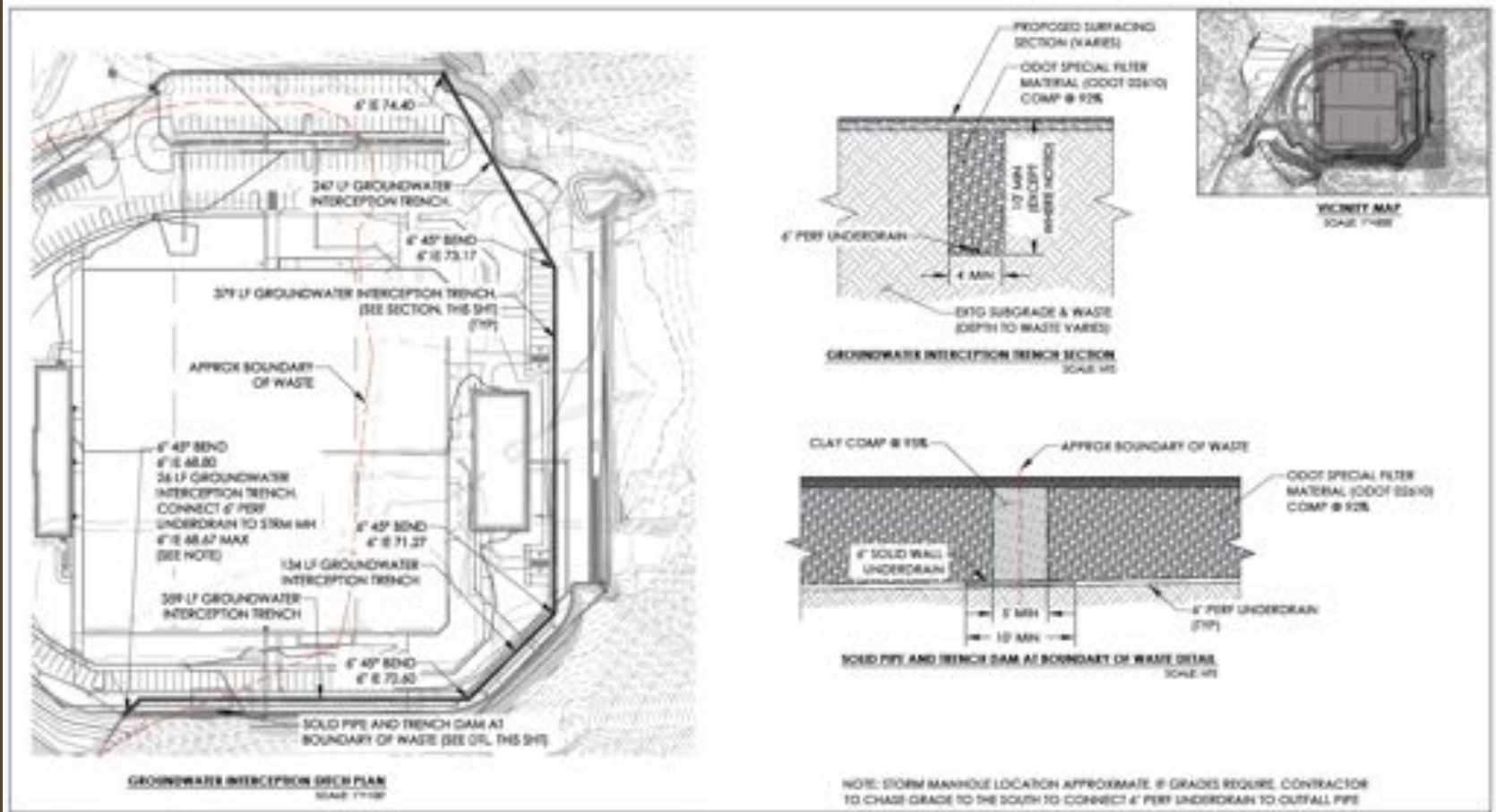


Stormwater Controls

73



Groundwater Controls



NOTE: STORM MAIN/PILE LOCATION APPROXIMATE. IF GRADES REQUIRE, CONTRACTOR TO CHASE GRADE TO THE SOUTH TO CONNECT 4" PERFORATED UNDERDRAIN TO OUTFALL PIPE.

<p>WPA JOB # _____</p> <p>DATE _____</p> <p>CHANGED BY _____</p> <p>DESIGNED BY _____</p>	
---	--

ESI 3B
 GROUNDWATER INTERCEPTION TRENCH
ASTORIA ATHLETIC FIELDS COMPLEX
 ASTORIA, OR

SCALE AS NOTED
NOTE: THIS IS A PRELIMINARY DESIGN. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS. IF NOT INDICATED OTHERWISE, ALL DIMENSIONS SHALL BE AS SHOWN.

ESI
 3B

Before (March 2012)

75



After (August 2014)

76



Lessons Learned

77

- Communicate with reviewing agencies early and often.
- Public /Private Partnerships
- Learned from other landfill redevelopments.
- Need to educate stakeholders about the reality of obstacles during brownfield redevelopment.



Ribbon Cutting

ASTORIA SPORTS COMPLEX DEDICATED OCTOBER 2014

Made possible through the combined efforts and partnership of:

The City of Astoria, Columbia Memorial Hospital,
Astoria School District and Recology

Through this project the Astoria School District received a fine athletic field to be used by all ages and genders for generations to come. Columbia Memorial Hospital received property vital to the expansion of its campus and the services that are critical to the community. The City of Astoria reused its former landfill site for the benefit of the community. Recology improved services to the City and furthered their goal as a waste zero company.



Special Thanks to:

SENATOR BETSY JOHNSON

and

THE DEPARTMENT OF ENVIRONMENTAL QUALITY

Owner's Representative: Al Jaques

Designed by:

Maul Foster and Alongi, IBI Group Architects Inc., and Field Design Engineer DA Hogan



business

Thank You



Questions?

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